



Residents Engagement Meeting

Carrington Point



Report: STAR92156
Client: Persimmon Homes
Date: 07/10/2025

Prepared for: Carrington Point Community
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Ref: Resident Engagement/CP01

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Meet The Team



Robert Morgan – Projects Director

Robert will be responsible for monitoring the progress of the project from behind the scenes ensuring the Starfish team have what they need to successfully deliver the project.



Amy Butzki – Resident Liaison Officer

Amy will be responsible for keeping residents up to date on all ongoing works and activities, issuing weekly progress updates.



Paul Frost – Site Manager

Paul will be responsible for overseeing daily operations on a building site, ensuring work is completed safely, on time, within budget, and to the required quality standards.



Project Overview



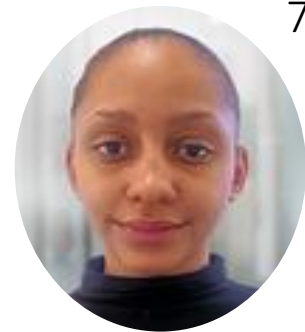
Brief Overview Carrington Point

- Removal cladding- the panel of existing cladding systems, timber & metal cladding, and timber ls will be removed and replaced using non-combustible materials.
- Persimmon Homes have appointed Starfish Construction as Principal Contractor to complete these works in a safe and timely manner .
- Additional consultants will form part of the wider project team including Structural Engineers, Health & Safety Advisors and Fire engineers
- Scaffold will be erected to the entire buildings across phase 1, 2 & 3 with Access to the works will be via Haki stairs & hoist
- On Phase 1 Vellum House the ground floor garden access will be restricted between the working hours of 8am & 5pm Monday to Friday.
- All Juliette balcony doors across all blocks will be locked to ensure resident safety during the works programme.
- Our working hours are Monday to Friday, 8:00am-5:00pm (any works outside these hours will be fully briefed to all resident's prior)
- Amy Butzki will be your RLO (Resident Liaison Officer) on site to assist with any queries or concerns you may have.

Site Layout Plan

CARRINGTON POINT SITE PLAN LAYOUT





Resident Liaison Officer Role – Amy Butzki

Strategy for Resident Liaison Officer

Preparation Stage:

Project Understanding: Gain a thorough understanding of the façade remediation project, including scope, timeline and potential impacts on residents.

Communication Planning :

Identify Stakeholders: Determine all stakeholders, particularly residents who will be directly affected by the project.

Segmentation: Categorize residents based on their proximity to the potential impact and concerns.

Engagement Strategy: RLO Residents Hub (See Resident Hub Slide Attached)

Clear Communication Channels: Establish easily accessible communication channels such as a dedicated email, phone line, and informational website.

Frequent Updates: Develop a schedule for regular project updates to keep residents informed about progress and any changes.

Transparency: Provide accurate and honest information about the project, addressing potential challenges and solutions.

Initial Communication:

Project Introduction: Send an initial communication explaining the project's purpose, scope and anticipated timeline.

Impact Explanation: Clearly outline potential disruption's, such as noise, dust and limited access, and detail of how these will be managed.

Two-Way Communication:

Listening Sessions: Organize meetings or surveys to allow residents to voice concerns and ask questions, and provide feedback

Feedback Incorporation: Actively consider resident feedback and adjust project plans where feasible to address concerns



Resident Liaison Officer Role – Amy Butzki

Mitigation Strategies:

Mitigating Disruptions: Outline steps taken to minimize disruptions, such as scheduling noisy work during specific hours, setting up dust barriers, etc.

Alternative Access: If necessary, provide alternative access routes or accommodation for residents during specific project phases.

Emergency Preparedness:

Safety Measures: Communicate emergency protocols and safety measures to reassure residents that their well-being is a priority.

Contact Information: Share relevant contacts for both project-related inquiries and emergencies.

Progress Updates:

Regular Reporting: Send consistent updates and project progress, highlighting completed milestones and upcoming phases.

Visual Aids: Utilize images or diagrams to help residents understand the work being done and its impact.

Completion and Celebration:

Project Completion: Notify residents of successful project completion, emphasizing the benefits it brings.

Acknowledgement: Thank residents for their patience and cooperation during the project, recognizing their role in its success.

Post-Project Assessment:

Feedback Collection: Conduct a post-project survey or meeting to gather feedback on the effectiveness of the communication and mitigation strategies.

Learning for Future: Analyze successes and areas for improvement to enhance resident liaison strategies for future projects.

Continuous Engagement:

Long-Term Relationship: Maintain open channels of communication with residents for any on-going maintenance or follow-up needs.

Community Building: Consider organizing community events or initiatives to strengthen the sense of community after the project.

Resident's Hub

- A QR code will be posted around the project, which will allow all residents to access our resident's hub.
- On the resident's hub you will be able to see weekly or as required updates for the works on the project.
- We will also have notice boards in the building entrance displaying the same information as we have on our hub for those residents who would prefer not to access online.
- Our RLO Amy Butzki will also carry out various onsite resident's drop-in clinics as the works progress & she will also be knocking on doors to have general face to face engagement with residents.

An online platform delivering up-to-date project communications for residents and stakeholders.



Programme Key Dates

Start date:

Office & Welfare – Office & Welfare was installed W/C 15.09.25

Heras Fencing – Heras was installed W/C 15.09.25

Scaffold Works

Phase 1 – Are complete.

Phase 2 – 13.10.25

Phase 3 – TBC

Cladding works

Phase 1 – Commenced

Phase 2 – Due to commence November

Phase 3 – TBC

Completion

Target site completion & Handover **1ST June 2026** for the entire project.

All the above are key target dates but are subject to possible movement.

Any Other Business

Over to the residents



Operational Hubs & Accreditations



Operational Hubs

Glasgow

Head Office

Manchester

Northern England Hub

London

London and South Hub

UK Wide Enquiries: 0333 016 5399

www.starfishconstruction.com



Accreditations

Our clients can feel confident and safe in the knowledge that Starfish Construction are a fully accredited firm across all our divisions.

With our company strategy and processes, our industry accreditations and associations mean we continually deliver value through; cost-effectiveness, safety, sustainability, legislation and best-in-class products that enhance how a building looks and performs.

All our divisions provide stand-alone solutions, as well as working seamlessly together. All this is driven by our accreditations, including BS EN ISO 9001, 14001 and 45001.

