

Progress Update St Georges Island – Issue 12

19th September 2024

In January 2023, Starfish Construction began the temporary works to begin the Site Set-Up of our Site Compounds in the railway arches in preparation to commence works to Block 1, St Georges Island. When the works began, the original timeframe for the completion of the whole project from Block 1 to Block 5 was programmed for completion in January 2026. Although we have faced some challenges in the earlier stages of the project which resulted in delays to Block 1 and 2, we are pleased to announce that due to the acceleration of works to Block 3, 4 and 5, we are now scheduled to complete the project in Spring of 2025.

The Starfish Project Team would like to thank you all for your patience and cooperation during the cladding remediation works. We understand the impact construction works can have on those affected by it, but the purpose of these safety critical works is to achieve a safe and compliant building for you to enjoy.

Below you can find a breakdown of the keys works and dates for each building.

Block 1

The balcony remediation works to Block 1, St Georges Island is now complete, and balcony access has now been returned to all residents. The below works will continue over the coming weeks:

- Internal Remediation - Damage caused inside the apartment and communal areas during the cladding remediation works. If you have not yet reported the damage to us, please contact Melissa Buckley on the details listed further down in this document.
- Balcony Light Installation - We have now received the new replacement balcony lights, and we will be in touch with you directly to arrange an appointment for the Electrician to attend.
- Soffit Panel Installation - If your apartment is located on the corner of the building where the hoist equipment is located, you will have a white soffit panel missing at the end of the balcony. Once the Hoist tower is removed, we will contact you directly to have the panel installed.

We again would like to thank all residents and leaseholders of Block 1 for your patience and cooperation during these works.

The cladding remediation works to the terracotta tile on the gable ends of the building is now complete from Level 14 to Level 1. The next stage of work is to remove all the access equipment including the scaffolding platforms at the front entrance and side of the building on the South elevation. This work has started, and by 14th October 2024, all the access equipment will be removed.

South Elevation



North Elevation



When the access equipment is removed, we will then begin works to the Ground Floor area. Further information on the Ground Floor and the completion date for Block 1 works will be issued directly to all Residents and Leaseholders in due course.

Block 2

The balcony remediation works to Block 2, St Georges Island from Level 12 to 1 is now complete, and balcony access has now been returned to all residents. We will contact you directly in the coming weeks to undertake the following works:

- Internal Remediation – Damage caused inside the apartment and communal areas during the cladding remediation works. If you have not yet reported the damage to us, please contact Melissa Buckley on the details listed further down in this document.
- Balcony Light Installation - We have now received the new replacement balcony lights, and we will be in touch with you directly to arrange an appointment for the Electrician to attend.
- Soffit Panel Installation - If your apartment is located on the corner of the building where the hoist equipment is located, you will have a white soffit panel missing at the end of the balcony. Once the Hoist tower is removed, we will contact you directly to have the panel installed.

We again would like to thank all residents and leaseholders of Block 2 for your patience and cooperation during these works.

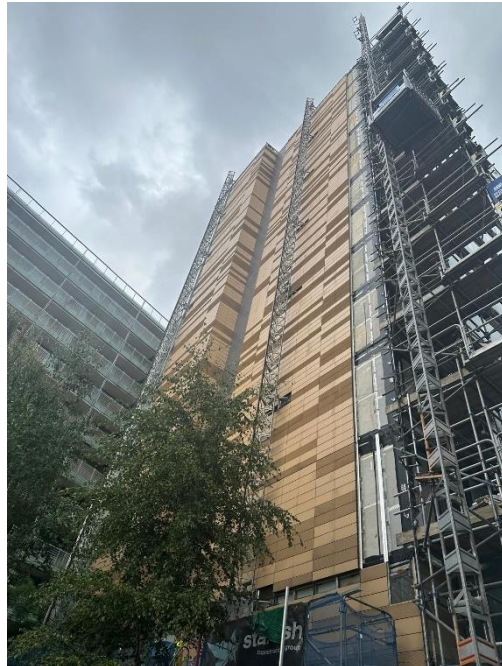
The work to the Ground Floor balcony areas of Block 2 has now started and the front entrance scaffolding deck has now been removed. In the coming weeks, works will begin to remove the hoist access equipment.

The cladding remediation works to the terracotta tile on the gable ends, and the parapet area of the building is ongoing. You can see from the pictures below, that the large areas to the main elevations are complete with tiles reinstated. However, work continues on the corners of the building, and to Levels 2 and 1 on the large area to the North Elevation.

The completion date for Block 2 cladding remediation works is scheduled for 15.11.2024.



North Elevation



South Elevation



South Elevation

Block 3

The balcony remediation works to Levels 10 to 1, Block 3, St Georges Island are progressing well. We are on target to complete the balcony remediation works on 2nd October 2024 and you will be issued with communication next week regarding the process of reinstating balcony access. On the East Elevation, Levels 10/9/8/7/6 are now complete and have been handed over successfully to the Employers Agent. Over the coming week, snagging, cleaning, and handover inspections will continue to take place on the remaining balcony areas. The Ground Floor balcony areas will be notified of the commencement of works in a separate communication.

See below images of Block 3 balcony areas. Please note, the works are still in progress at this time, and the images below are not of completed works. LHS – East Elevation. RHS – West Elevation



The cladding remediation works to the terracotta tile on the gable ends of the building is ongoing. The removal of all existing materials and installation of the new compliant materials upto board is complete from Levels 10 to 1 on both the South and North Elevations. Works will continue in the coming weeks to install firestopping and the tile carrier system.

The completion date for Block 3 cladding remediation works is scheduled for 10.01.2025.



Block 4

The balcony remediation works to Levels 9 to 1, Block 4, St Georges Island are progressing well. We are on target to complete the balcony remediation works on 28th October 2024. Installation of the decking boards and wall cladding is in progress, and these works will continue moving down the building. You can view what stage the remediation works are upto on your balcony area following the attached link and selecting the most recent planned works document - [SGI Updates \(starfishconstruction.com\)](https://starfishconstruction.com)

The cladding remediation works to the terracotta tile on the gable ends of the building is ongoing and progressing well. The North Elevation began earlier than the South Elevation and therefore Levels 9 to 1 (West) and Levels 9 to 2 (East) on the North Elevation have all the existing materials removed and are in the process of installing bracketry and rails for the tile carrier system.

The South Elevation has all the existing materials removed from Levels 9 to 1 (West) and they are now removing and replacing the existing materials from the corner and return areas working from Level 1 upwards. Levels 8 to 1 on the East has all the existing materials removed, with Level 9 in progress. On completion of Level 9, the Operatives will begin removing and replacing the existing materials on the corner and return areas working from Level 1 upwards.

The completion date for Block 4 cladding remediation works is scheduled for 07.02.2024.

Below are images of the South Elevation.



Below are images of the North Elevation.



Block 5

Over the last 4 weeks the temporary works has been taking place to install the access equipment required to facilitate the cladding remediation works. The installation of the scaffolding platform on the North Elevation is in progress, and the mast climbers will be installed from W/C 23rd September 2024.

The remediation works to the balcony areas on Levels 9 to 1 will begin from Monday 16th September 2024. We will be working on the East elevation of the building first to remove glass partitions and install door restrictors and then move onto the West elevation. This information has been communicated in a separate notice, if you have any questions, please contact Melissa Buckley on the details below.

The completion date for Block 5 cladding remediation work is scheduled for 20.03.2025.

Below images are of: LHS – West Elevation and RHS – East Elevation



Completion of Works and Issue of EWS1 Certification

The cladding remediation works is split into 2 stages of Practical Completion. When the balcony remediation works (excluding ground floor balconies) are completed and successfully handed over to the Employers Agent, Stage 1 Practical Completion Certification is issued. When the terracotta tile and ground floor works are completed and successfully handed over to the Employers Agent, Stage 2 Practical Completion Certification is issued. Once Starfish Construction receive Practical Completion Stage 2, this allows for the Fire Engineering Consultant to confirm all works are complete and therefore issue the EWS1 certification on a block-by-block basis.

Should you have any questions or concerns regarding the cladding remediation works, please contact Melissa Buckley on 07944 304 708 or email mbuckley@starfishconstruction.com